



AGENDA
CITY OF LAKE WORTH BEACH
HISTORIC RESOURCES PRESERVATION BOARD REGULAR MEETING
CITY HALL COMMISSION CHAMBER
WEDNESDAY, APRIL 13, 2022 -- 6:00 PM

ROLL CALL and RECORDING OF ABSENCES

PLEDGE OF ALLEGIANCE

ADDITIONS / DELETIONS / REORDERING AND APPROVAL OF THE AGENDA

APPROVAL OF MINUTES:

A. [January 12, 2022](#)

[March 9, 2022](#)

CASES

SWEARING IN OF STAFF AND APPLICANTS

PROOF OF PUBLICATION

- 1) [428 North J Street](#)
[1017 South Palmway](#)

WITHDRAWALS / POSTPONEMENTS

CONSENT

PUBLIC HEARINGS:

BOARD DISCLOSURE

UNFINISHED BUSINESS:

NEW BUSINESS:

- A. HRPB Project Number 21-00100315:** Consideration of a Certificate of Appropriateness (COA) for garage and French door replacements for a building located at 531 North Lakeside Drive; PCN# 38-43-44-21-15-164-0090. The subject property is a contributing resource within the Old Lucerne Historic District and is located in the Single Family Residential (SFR) zoning district. The future land use designation is Single Family Residential (SFR).
- B. HRPB Project Number 22-00100147:** Consideration of a Certificate of Appropriateness (COA) for the construction of a ±3,660 square foot single-family structure on Lot 1, Block 40 at **1017 South Palmway**; PCN #38-43-44-27-01-040-0130. The subject property is located

in the Single Family Residential (SFR) zoning district and the South Palm Park Local Historic District.

- C. HRPB Project Number 22-00100146:** Consideration of a Certificate of Appropriateness (COA) for the demolition of an existing structure and the construction of a ±1309 square foot single-family structure on Lot 14, Block 114 at **428 North J Street**; PCN #38-43-44-21-15-114-0140. The subject property is located in the Single-Family/Two-Family Residential (SF-TF-14) zoning district and the Northeast Lucerne Local Historic District.
- D. PZHP 22-03100001 (Ordinance 2022-06):** Consideration of an ordinance amending Chapter 23 “Land Development Regulations,” Article 2 “Administration,” Division 2 “Procedures,” adding a new Section 23.3-20 “Applicant’s Public Neighborhood Meeting and Outreach,” providing for an applicant held public neighborhood meeting and virtual outreach.
- E. HRPB Project Number 22-00100021:** Consideration of a Certificate of Appropriateness (COA) for window replacement in a building located at 403 4th Avenue South; PCN# 38-43-44-21-15-159-0070. The subject property is a non-contributing resource within the Southeast Lucerne Historic District and is located in the Mixed-Use Federal Hwy (MU-FH) zoning district. The future land use designation is Mixed-Use East (MU-E).

PLANNING ISSUES:

PUBLIC COMMENTS: (3 minute limit)

DEPARTMENT REPORTS:

BOARD MEMBER COMMENTS:

ADJOURNMENT

If a person decides to appeal any decision made by the board, agency or commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. (F.S. 286.0105)

NOTE: ALL CITY BOARDS ARE AUTHORIZED TO CONVERT ANY PUBLICLY NOTICED MEETING INTO A WORKSHOP SESSION WHEN A QUORUM IS NOT REACHED. THE DECISION TO CONVERT THE MEETING INTO A WORKSHOP SESSION SHALL BE DETERMINED BY THE CHAIR OR THE CHAIR'S DESIGNEE, WHO IS PRESENT AT THE MEETING. NO OFFICIAL ACTION SHALL BE TAKEN AT THE WORKSHOP SESSION, AND THE MEMBERS PRESENT SHOULD LIMIT THEIR DISCUSSION TO THE ITEMS ON THE AGENDA FOR THE PUBLICLY NOTICED MEETING. (*Sec. 2-12 Lake Worth Code of Ordinances*)

Note: One or more members of any Board, Authority or Commission may attend and speak at any meeting of another City Board, Authority or Commission.



**MINUTES
CITY OF LAKE WORTH BEACH
HISTORIC RESOURCES PRESERVATION BOARD REGULAR MEETING
CITY HALL COMMISSION CHAMBER
WEDNESDAY, JANUARY 12, 2022 -- 6:00 PM**

ROLL CALL and RECORDING OF ABSENCES Present were: William Feldkamp, Chairman; Bernard Guthrie, Vice-Chair; R.D'Arinzo; Stephen Pickett; Judi Fox; Ricardo Martin. Also present were: Erin Sita, Assistant Director for Community Sustainability; William Waters, Director for Community Sustainability; Elizabeth Lenihan, Board Attorney; Sherie Coale, Board Secretary.

PLEDGE OF ALLEGIANCE

ADDITIONS / DELETIONS / REORDERING AND APPROVAL OF THE AGENDA

Additional Conceptual Review-329 North L Street will be Item B under New Business

APPROVAL OF MINUTES:

A. November 17, 2021 Regular Meeting Minutes

Motion: S. Pickett moves to approve the November 17, 2021 minutes as presented; R. D'Arinzo 2nd.

Vote: Ayes all, unanimous.

B. December 15, 2021 Regular Meeting Minutes

Motion: S. Pickett moves to approve the December 15, 2021 minutes as presented; R. D'Arinzo 2nd.

Vote: Ayes all, unanimous.

CASES

SWEARING IN OF STAFF AND APPLICANTS Board Secretary administered oath to those wishing to give testimony.

PROOF OF PUBLICATION None

WITHDRAWALS / POSTPONEMENTS None

CONSENT None

PUBLIC HEARINGS:

BOARD DISCLOSURE None

UNFINISHED BUSINESS:

A. HRPB Project Number 21-01400023: Consideration of a Certificate of Appropriateness (COA) for the construction of (1) new ± 4,125 square foot multi-family structure with four (4) units on Lots 12 and 13 of Block 48 at 226 North K Street. The subject property is located in the Medium-Density Multi-Family Residential (MF-30) zoning district and the Northeast Lucerne Local Historic District.

Staff: A continuance from the previous Board meeting. The window size has been increased. The owner has a preference for Option B while Option C is the least favored. Option B would require a Condition of Approval that the “wall” would require meeting the setback. The applicant would be willing to sacrifice approximately two (2) feet on the interior space should the Board choose Option B.

Board: W. Feldkamp prefers Option A or C and would like to have the window sill depth at 3-4 inches to provide the most shadow. **Architect:** Would be amenable to changing Condition #3. R. D’Arinzo believes all options are unique and good, prefers Option B or C but would like to leave it to the owner/applicant. S. Pickett prefers A or C and dislikes B; J. Fox has no preference with Option C being the most unadorned.

Public Comment: Kevin Fernandez – 202 Ocean Breeze- in support of as it is beneficial for the surrounding area by providing residents with a green buffer in the front allowing pedestrians to walk without watching for cars backing into the street. Blends well with respect to scale, proportions and overall aesthetic of the neighborhood. **Angelo Romano** owner of Paradiso 625 Lucerne Avenue– the facades are dynamic with a mid-century feel and shines as a project compared to the surrounding buildings. Parking, gardens and landscaping all add to the great design. **Thomas Scheer** 2502 N Dixie Hwy vouches for the professionalism and thoughtfulness of the developer. Provides an affordable end product the City and neighbors can be proud of with no shortcuts. **Joseph LaLlave** Owner of Cana Bar & Grill 604 Lake Avenue expresses support for the developer. Wes Blackman-CWB Associates-has an appreciation for the larger windows on the western façade, interior staircases utilizing natural light and garden/patio areas for enjoyment of the SoFlo environment. No variances are required and this is the type of infill that is needed in downtown.

Motion: R. D’ Arinzo moves to approve HRPB 21-01400023 with staff recommended Conditions of Approval and the amendment to Condition #3 that the minimum recession on the window sills be four (4) inches based upon the competent substantial evidence in the staff report and pursuant to the City of Lake Worth Beach Land Development Regulations and Historic Preservation requirements. The Board agrees on either Option A or C allowing the applicant to decide.

NEW BUSINESS:

A. Conceptual Review 1017 S Palmway - New single-family home construction in the South Palm Park Historic District.

Applicant: Denise Cravy- Characterizes the conceptual as a ranch-style. Open to suggestions for better adaptation to the Historic district.

Board: S. Pickett – too large for the cottage homes surrounding the lot. W. Feldkamp believes it would be a better fit in a western community. It’s ponderous, with nine (9) foot ceilings. Would like a more horizontal structure, an eave line at the first-floor level, a single-story porch in front; there are a number of large different windows that could be simplified. B. Guthrie asks about the first-floor height, due to FEMA guidelines, mentions the relationship to the surrounding properties will be dramatic, queries the roofing material and if a streetscape has

been created. **Response:** Client wanting tile, the streetscape is the next step. Question of a variance arises. **Applicant:** Advice for achieving a modern contemporary style.

Board: Flat roof, deco streamline modern **Staff:** A flat roof would help with the streetscape. Depending upon the base flood elevation, possibly nine feet, the City may require a one 1-foot freeboard. **Staff:** New Construction will not allow the application of a variance.

B. Conceptual Review 329 North L Street- Justin Pace

Staff: A portion of the existing garage structure is built/overhanging alley, this non-conformity may not be increased/expanded. The addition needs to better distinguish itself from the original structure. The applicant is proposing to retain the clamshell shutters and brick detail on the sill. The intent is to return for the Historic Ad Valorem Tax Exemption pre-approval. The work can be approved administratively, but the applicant is wanting more advice regarding the differentiation between existing and addition.

William Waters: The garage could have a Flemish Rake Beam Gable end. The same configuration on the addition end, along with lowering the addition 6 inches to one foot with 2 steps down as the building is built up off the grade quite a bit.

Applicant: Justin Pace originally thought to match or blend the addition to the existing but now understands there needs to be some differentiation.

Board: The windows on the east and west elevation are a bit small.

Staff: Board will want to give advice consistent with the Design Guidelines as they will be applying for the Tax Exemption. Could there be a different stucco texture, color variation or set-back, in addition to the roofline suggestions? A sill element on the addition mimicking those on the original structure would be appropriate.

Applicant: Expresses appreciation for the Ad Valorem program in that it allows homes, that people may not normally look at to own or as an investment, to be improved/salvaged or rehabilitated. For properties. Keep the eastern part of the house as is, modify the garage roof, keep sills and clamshells and change the stucco on the addition.

Staff: Only the approved value of the improvement, in this case the addition, is held in abeyance. When it comes back on the tax roll, it is revaluated as of that date rather than the date the exemption began.

PLANNING ISSUES: Workshop with Treasure Coast Regional Planning Council on February 16, 2022. The Gulfstream Hotel submittal is imminent.

PUBLIC COMMENTS: (3 minute limit) None

DEPARTMENT REPORTS: None

BOARD MEMBER COMMENTS: W. Feldkamp wishes to discuss conditions of the properties in the L&M street properties. The CRA is the owner. In walking through the neighborhood, insect infestation is evident as well as deterioration by neglect. Suggests sending notification regarding the deterioration through neglect per the Historic Preservation Ordinance.

Board Attorney: Suggests documentation could be brought forward at a future meeting. The City is re-evaluating the status of the property.

Staff-William Waters: It is a complicated acquisition transaction. The issue will come up in the near future. Staff is being asked what it would take to have the structures habitable again until such time as there is a plan for the locations. Relocation is still an option, some interest has

been expressed but staff could not support the proposals as the structures would be rendered non-contributing after the move.

Board: Requests notification of any City meetings being held to discuss the subject properties. B. Guthrie asks about the demolition.

Staff -William Waters: Per the Ordinance a Site Plan must be presented concurrent with the demolitions request. Interest was only shown in 3 buildings.

ADJOURNMENT 7:30 PM



AGENDA
CITY OF LAKE WORTH BEACH
HISTORIC RESOURCES PRESERVATION BOARD REGULAR MEETING
CITY HALL COMMISSION CHAMBER
WEDNESDAY, MARCH 09, 2022 -- 6:02 PM

ROLL CALL and RECORDING OF ABSENCES: Present were: Bernard Guthrie, Vice-Chairman; Judy Fox; Robert D,Arinzo; Ricardo Martin. Absent: William Feldkamp, Chairman; Steve Pickett. Also present were: Erin Sita, Assistant Director for Community Sustainability; Elizabeth Lenihan, Board Attorney; Sherie Coale, Board Secretary.

PLEDGE OF ALLEGIANCE

ADDITIONS / DELETIONS / REORDERING AND APPROVAL OF THE AGENDA

APPROVAL OF MINUTES:

A. January 12, 2022 Regular Meeting Minutes – scheduled for April meeting.

CASES

SWEARING IN OF STAFF AND APPLICANTS: Not a quasi-judicial meeting.

PROOF OF PUBLICATION: Conceptual review only, no publication required.

WITHDRAWALS / POSTPONEMENTS None

CONSENT None

PUBLIC HEARINGS:

BOARD DISCLOSURE: If Mr. Blackman is customer, client, official or employee of Mr. Ricardo Martin's company, there could be a conflict and the disclosure form shall be filed. Mr. Martin states Mr. Blackman works as a Contractor for the company.

UNFINISHED BUSINESS: None

NEW BUSINESS:

- A. Conceptual Review of proposed exterior improvements of a contributing structure located at 602 North K Street. The property is a contributing resource in the North East Lucerne Historic District and is located in the Single-Family and Two-Family Residential (SF-TF-14) Zoning District.

Wes Blackman, ACIP, CWB presents proposed changes to the structure and concerns related to the approval matrix. Questions if leeway can be given to staff regarding processes in order to make the structure sound. He is encouraging the owner to apply for the tax abatement. Asbestos siding will be removed revealing the lap siding. Windows will be changed to 4 over 1 and shingled roof replaced. There will be some extension to the structure without the footprint

changing and the demolition to the shed in the rear of the lot. The door on the inset will remain, the shed roof over the existing entrance door is proposed to be removed. Discussion of the extension of the existing gable roof over the extension.

- B. Conceptual Review of a proposed new single-family residence located at 428 North J Street. The property is located in the North East Lucerne Historic District and in the Single-Family and Two Family Residential (SF-TF-14) Zoning District.

Kevin Fernandez, Contin Studios, explains the non-contributing structure situated to the rear of the lot, which will be demolished. The large mango tree is proposed to be relocated and incorporated into the new courtyard area toward the front of the lot. A portion of the new structure would resemble a semi-enclosed garden area, pergola type structure constructed of aluminum. Behind that the new primary structure, a patio area and accessory structure would be found with parking parallel to the alley. The demolition and new construction would come before the Board. The privacy afforded to the lot with the garden structure is noted by the Board as a nice addition. Question of where the trash will be placed? Response: In the front, landscaped within a fenced area. The parking requirement, is met with the one off-street parking space. As there was no previous off-street parking, this is an improvement. Additional windows could be added for symmetry on the blank portion of the 2-story primary structure facing the street.

- C. Conceptual review of exterior renovations to the non-contributing property located at 331 South Lakeside Drive. These renovations include the addition of a screened porch and a metal roof. The property is located in the South Palm Park Historic District and the MF-20—Multi-family Residential Zoning District.

Wes Blackman, AICP, CWB- Requesting a screened porch, metal roof, new door and horizontal roller window replacements. The owner has been encouraged to maintain the concrete tile roof. Also proposed is a full-width east facing screened porch with knee wall. Lot coverage may become an issue. Owner also requesting a porch on the south elevation. Windows-Horizontal rollers on ranch style homes cannot be administratively approved. Is there a muntin or mullion configuration? The original configuration may have been jalousie windows. The owner has deposited funds for the north and west facades for the horizontal rollers and is seeking an indication that the Board may approve the window type. The Board is in general agreement with a porch in the front with depth dependent upon code restrictions, flat roof, wider columns. The west and north facades are not reviewed, due to not being visible from the street (on this non-contributing property). Board is generally in agreement with horizontal rollers and sliders.

- D. Conceptual review of a proposed new single-family residence located at 1017 S Palmway. The subject property is located in the South Palm Park Historic District and in the Single-Family Residential (SFR) Zoning District.

Denise Cravy-Proposing a new style to the district, a Prairie Style new construction. Elevations are now shown with the base flood elevation increase. Other Prairie style characteristics are evident in the horizontal lines, low pitched hip roof, multipaned bands of windows, geometric details in the railing and heavy portico.

Board preferences- change the railings, and the effect on the neighbor with the increased height. Perhaps mitigate in some manner by moving the house back and tiering the increased height.

PLANNING ISSUES: Notification is given for two (2) condemnation orders by the Building Official.

- 106 North Ocean Breeze
- 324 North K Street

PUBLIC COMMENTS: (3 minute limit) None

DEPARTMENT REPORTS: None

BOARD MEMBER COMMENTS: None

ADJOURNMENT: 8:12 PM

Legal Notice No. 40133

PLEASE TAKE NOTICE that the City of Lake Worth Beach's Historic Resources Preservation Board (HRPB) will conduct a meeting at 7 North Dixie Highway, Lake Worth Beach on April 13, 2022 at 6:00 pm or soon thereafter to consider the following:

HRPB Project #22-00100146: Consideration of a Certificate of Appropriateness (COA) for the construction of one (1) new ± 1,309 square foot single-family structure and one (1) new ± 342 square foot accessory structure on Lot 14 of Block 114 at 428 North J Street. The subject property is located in the Single-Family and Two-Family Residential (SFTF-14) zoning district and the Northeast Lucerne Local Historic District. PCN#38-43-44-21-15-114-0140.

The public can view the meeting via YouTube, <https://www.youtube.com/c/CityofLakeWorthBeach>. The agenda and back-up materials are available: <https://lakeworthbeachfl.gov/government/advisory-board-agendas-and-minutes/>.

Public comment will be accommodated in person at the meeting, or virtually through the web portal: <https://lakeworthbeachfl.gov/virtual-meetings/>. If you are unable to access the web portal, email pzoning@lakeworthbeachfl.gov for a comment to be read into the record by a staff member. Written responses or comments can be sent to the Department for Community Sustainability PZHP Division, 1900 2nd Avenue North, Lake Worth Beach, FL 33461 and must arrive before the hearing date to be included in the formal record.

Affected parties, as defined in Section 23.1-12 of the Lake Worth Beach Code of Ordinances, who are interested in participation must notify the City of their status at least five (5) days before the hearing. Failure to follow the process will be considered a waiver of the right to participate as affected party in the hearing, but does not preclude the party from making public comment. Affected parties shall submit the evidence they wish the Historic Resources Preservation Board to consider a minimum of one (1) full business day prior to the date of the meeting. **Affected parties, whether individually or collectively and irrespective of the number of affected parties, shall have the right to request one (1) continuance provided that the request is to: address neighborhood concerns or new evidence, hire legal counsel or a professional services consultant, or is unable to be represented at the hearing. For additional information, please contact City staff at 561-586-1687 or pzoning@lakeworthbeachfl.gov.**

If a person decides to appeal any decision made by the Board, Agency or Commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (FS 286.0105). In accordance with the provisions of the American with Disabilities Act (ADA) this document may be requested in an alternative format. Persons in need of special accommodation to participate in this proceeding are entitled to the provision of certain assistance. Please call 561-586-1687 or email pzoning@lakeworthbeachfl.gov no later than five (5) days before the hearing if this assistance is required.

Publish: The Lake Worth Herald
March 31, 2022

Legal Notice No. 40134

PLEASE TAKE NOTICE that the City of Lake Worth Beach's Historic Resources Preservation Board (HRPB) will conduct a meeting at 7 North Dixie Highway, Lake Worth Beach on April 13, 2022 at 6:00 pm or soon thereafter to consider the following:

HRPB Project #22-00100147: Consideration of a Certificate of Appropriateness (COA) for the construction of one (1) new ± 3,660 square foot single-family structure on Lot 13 of Block 40 at 1017 South Palmway. The subject property is located in the Single-Family Residential (SFR) zoning district and the South Palm Park Local Historic District. PCN#38-43-44-27-01-040-0130.

The public can view the meeting via YouTube, <https://www.youtube.com/c/CityofLakeWorthBeach>. The agenda and back-up materials are available: <https://lakeworthbeachfl.gov/government/advisory-board-agendas-and-minutes/>.

Public comment will be accommodated in person at the meeting, or virtually through the web portal: <https://lakeworthbeachfl.gov/virtual-meetings/>. If you are unable to access the web portal, email pzoning@lakeworthbeachfl.gov for a comment to be read into the record by a staff member. Written responses or comments can be sent to the Department for Community Sustainability PZHP Division, 1900 2nd Avenue North, Lake Worth Beach, FL 33461 and must arrive before the hearing date to be included in the formal record.

Affected parties, as defined in Section 23.1-12 of the Lake Worth Beach Code of Ordinances, who are interested in participation must notify the City of their status at least five (5) days before the hearing. Failure to follow the process will be considered a waiver of the right to participate as affected party in the hearing, but does not preclude the party from making public comment. Affected parties shall submit the evidence they wish the Historic Resources Preservation Board to consider a minimum of one (1) full business day prior to the date of the meeting. **Affected parties, whether individually or collectively and irrespective of the number of affected parties, shall have the right to request one (1) continuance provided that the request is to: address neighborhood concerns or new evidence, hire legal counsel or a professional services consultant, or is unable to be represented at the hearing. For additional information, please contact City staff at 561-586-1687 or pzoning@lakeworthbeachfl.gov.**

If a person decides to appeal any decision made by the Board, Agency or Commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (FS 286.0105). In accordance with the provisions of the American with Disabilities Act (ADA) this document may be requested in an alternative format. Persons in need of special accommodation to participate in this proceeding are entitled to the provision of certain assistance. Please call 561-586-1687 or email pzoning@lakeworthbeachfl.gov no later than five (5) days before the hearing if this assistance is required.

Publish: The Lake Worth Herald
March 31, 2022



MEMORANDUM DATE: April 4, 2022

AGENDA DATE: April 13, 2022

TO: Chair and Members of the Historic Resources Preservation Board

RE: **531 North Lakeside Drive**

FROM: Department for Community Sustainability

TITLE: **HRPB Project Number 21-00100315:** Consideration of a Certificate of Appropriateness (COA) for garage and French door replacements for a building located at 531 North Lakeside Drive; PCN# 38-43-44-21-15-164-0090. The subject property is a contributing resource within the Old Lucerne Historic District and is located in the Single Family Residential (SFR) zoning district. The future land use designation is Single Family Residential (SFR).

OWNER(S): John Kovalsky
531 North Lakeside Drive
Lake Worth Beach, FL 33460

CONTRACTOR: At Your Service Garage Doors, LLC

PROPERTY DEVELOPMENT HISTORY:

According to the property appraiser's files, the two-story structure was constructed in 1924. The property is listed on the Florida Master Site File (FMSF) as PB07499. It is significant for its association with the growth and development of the city during the Florida Land Boom of the 1920s.

PROJECT DESCRIPTION:

The property owner, John Kovalsky, is requesting a COA for garage and French door replacements for the building located at 531 North Lakeside Drive. The subject property is located on the corner of North Lakeside Drive and 6th Avenue North. **The proposal is for one (1) garage door and two (2) French door replacements.** The contractor, At Your Service Garage Doors, LLC, is request a replacement roll-up garage door in an imitation dark wood grain finish with magnetic hinges and handles to replicate the look of a carriage style garage door. The applicant has stated that they have been unable to source a more affordable replacement for the existing carriage style garage door as the cost of building materials has increased.

Exhibit A: Existing Garage Door



Existing carriage style garage door.

Exhibit B: Proposed Replacement Garage Door



Proposed door to have black hinges and handles installed to replicate the existing door style. Proposed door color to be brown woodgrain to match the fence door.

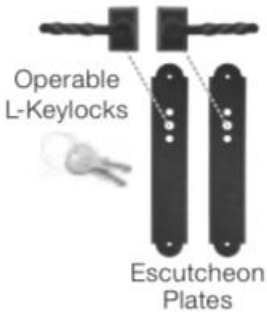
Exhibit C: Proposed Replacement Hardware

Decorative Hardware

STANDARD



OPTIONAL



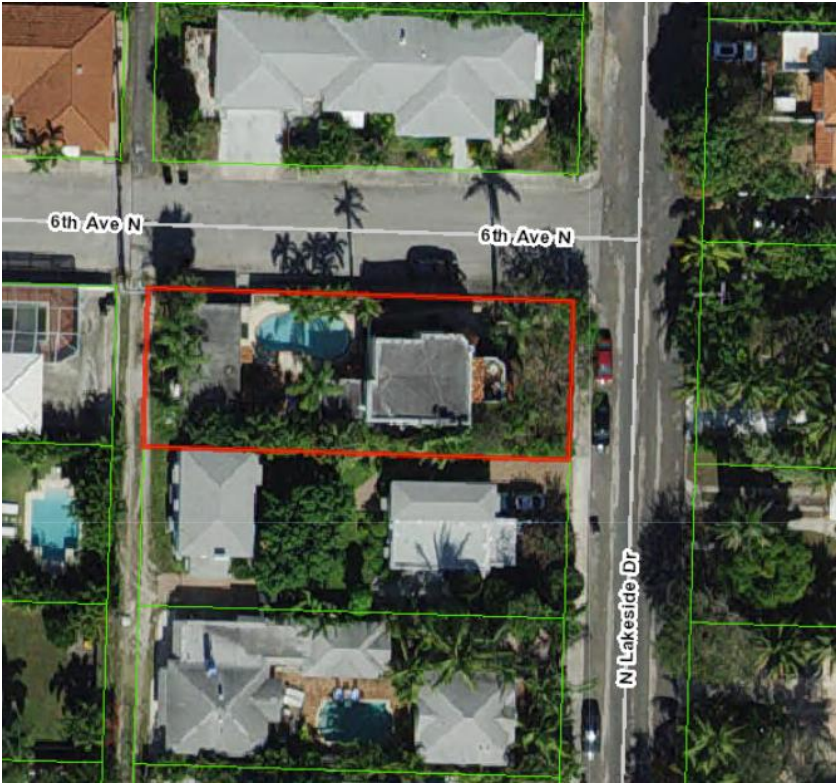
**Door may not open properly if installed near the top depending on opening dimensions and lift type. See your Clopay Dealer for more details.*

A selection of available hardware.

STAFF RECOMMENDATION: Staff recommends that the Board discuss the proposed garage door and hardware presented by the applicant to determine if the proposed applied magnetic hinges and handles depicted in Exhibit C adequately replicate the look of carriage door hardware and appearance. Further, staff recommends that the HRPB discuss if the staff recommendation that the proposed door should be modified with applied matching trim in wood grain or white to more accurately replicate the most appropriate replacement door type is appropriate. Staff is recommending approval of the two (2) French doors.

Owner	John Kovalsky
General Location	The corner of North Lakeside Drive and 6 th Avenue North
PCN	38-43-44-21-15-164-0090
Zoning	Old Lucerne Historic District
Existing Land Use	Single Family Residential (SFR)
Future Land Use Designation	Single Family Residential (SFR)

LOCATION MAP:



Consistency with the Comprehensive Plan

Staff is recommending that HRPB discuss the proposed garage door and hardware to determine both its appropriateness and consistency with Goal 1.4 of the Comprehensive Plan, which encourages preservation and rehabilitation of historic resources. Policy 3.4.2.1 insists that properties of special value for historic, architectural, cultural, or aesthetic reasons be restored and preserved through the enforcement of the City's Historic Preservation Ordinance to the extent feasible. Per the City's Historic Preservation Ordinance (LDR Sec. 23.5-4), the Lake Worth Beach Historic Preservation Design Guidelines, and the Secretary of Interior Standards for Rehabilitation, the replacement of missing features should be substantiated by documentary, physical, or pictorial evidence. The current proposal seeks to replicate the appearance of the original carriage door style with applied magnetic hardware. Staff is recommending that HRPB discuss and make a finding that proposed replacements are consistent with the architectural style of the property and would have no adverse effect on the property's appearance if appropriate. The French doors are consistent with the Comprehensive Plan as Mediterranean Revival architecture often featured doors with multiple fixed glass panes.

HISTORIC PRESERVATION ANALYSIS:

Historic Preservation Design Guidelines

The City's Historic Preservation Design Guidelines provide a guide for compatible doors for historic structures within the historic districts. Doors are amongst the most important character-defining architectural features, but they are also one of the most commonly replaced or added features of a building. The addition, replacement or modification of doors should match the original features in design, color, texture, and other visual qualities and, where possible, materials. The Mediterranean Revival architectural style often featured doors with multiple fixed glass panes as described in the Mediterranean Revival section of the City's Historic Preservation Design Guidelines.

Staff Analysis: The doors in question are depicted in the applicant's drawings in Exhibit C on page 3 of the staff report. Based on the existing French doors and the City's Historic Preservation Design Guidelines, staff contends that the replacement French doors are appropriate. The garage door does not fully replicate the original carriage style garage as wood grain panels are flat without applied trim or detailing. Staff is recommending that at a minimum that the door be modified with applied matching trim in wood grain or white to more accurately replicate the most appropriate replacement door type of a carriage style garage door. Alternatively, a different style of garage door could be selected with more detailed trim as depicted on page 5 of the applicant's justification statement.

Section 23.5-4(k)(3)(A) – Review/Decision

Certificate of Appropriateness

All exterior alterations to structures within a designated historic district are subject to visual compatibility criteria. Staff has reviewed the documentation and materials provided in this application and outlined the applicable guidelines and standards found in the City's Historic Preservation Ordinance, detailed in the section below. The Mediterranean Revival architectural style section of the City's Historic Preservation Design Guidelines available on the webpage: <https://lakeworthbeachfl.gov/community-sustainability/historic-preservation/>

Section 23.5-4(K)(1) *General guidelines for granting certificates of appropriateness*

1. *In general.* In approving or denying applications for certificates of appropriateness, the city shall, at a minimum, consider the following general guidelines:

- A. What is the effect of the proposed work on the landmark or the property upon which such work is to be done?

Staff Analysis: Based on the existing doors and the City’s Historic Preservation Design Guidelines, staff contends that the proposal may be *successful* in replicating the original door design if additional applied trim is added to more accurately replicate a carriage door style. The applicant has provided a justification statement included as an attachment.

- B. What is the relationship between such work and other structures on the landmark site or other property in the historic district?

Staff Analysis: The proposed door replacement will have no direct physical effect on any surrounding properties within the Old Lucerne Local Historic District.

- C. To what extent will the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture, materials and color of the landmark or the property be affected?

Staff Analysis: Per the regulations set forth in the City’s Historic Preservation Design Guidelines, replacement doors shall replicate their appearance. New doors are being proposed that replicate the divide light pattern of the original French doors. A new garage door is being proposed to replicate the design of the original carriage style garage door to the extent possible with available materials.

- D. Would denial of a certificate of appropriateness deprive the property owner of reasonable beneficial use of his property?

Staff Analysis: No, denial of the COA would not deprive the applicant of reasonable use of the property.

- E. Are the applicant's plans technically feasible and capable of being carried out within a reasonable time?

Staff Analysis: Yes, the applicant’s plans can be completed in a reasonable timeframe.

- F. Are the plans (i) consistent with the city's design guidelines, once adopted, or (ii) in the event the design guidelines are not adopted or do not address the relevant issue, consistent as reasonably possible with the applicable portions of the United States Secretary of the Interior's Standards for Rehabilitation then in effect?

Staff Analysis: The proposed French doors are in compliance with the City’s Historic Preservation Design Guidelines Design Guidelines, Secretary of the Interior’s Standards for Rehabilitation, and the City’s Land Development Regulations, Historic Preservation

Ordinance (LDR Sec. 23.5-4). Staff is recommending that the Board discuss the proposed garage door and hardware and determine its consistency with these requirements.

- G. What are the effects of the requested change on those elements or features of the structure which served as the basis for its designation and will the requested changes cause the least possible adverse effect on those elements or features?

Staff Analysis: The structure is designated as a contributing resource within a local historic district. The resource is a Mediterranean Revival building, which has a distinct set of architectural characteristics.

Section 23.5-4(K)(2) *Additional guidelines for alterations and additions.*

2. In approving or denying applications for certificates of appropriateness for alterations and additions, the city shall also consider the following additional guidelines: *Landmark and contributing structures:*

- A. Is every reasonable effort being made to provide a compatible use for a property that requires minimal alteration of the building, structure or site and its environment, or to use the property for its originally intended purpose?

Staff Analysis: Not applicable; no change to the use of the property is proposed.

- B. Are the distinguishing original qualities or character of a building, structure or site and its environment being destroyed? The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible.

Staff Analysis: The original doors will be removed to accommodate new products.

- C. Is the change visually compatible with the neighboring properties as viewed from a primary or secondary public street?

Staff Analysis: Yes, the proposed French doors comply with the City's Historic Preservation Design Guidelines by successfully replicating the structure's original features. The new garage door replicates the design of the original carriage style garage door to the extent possible with available materials. Therefore, the project is visually compatible with neighboring properties.

- D. When a certificate of appropriateness is requested to replace windows or doors the HRPB or development review officer, as appropriate, may permit the property owner's original design when the city's alternative design would result in an increase in cost of twenty-five (25) percent above the owner's original cost. The owner shall be required to demonstrate to the city that:

- (1) The work to be performed will conform to the original door and window openings of the structure; and

Staff Analysis: Yes, no door opening sizes will be altered.

- (2) That the replacement windows or doors with less expensive materials will achieve a savings in excess of twenty-five (25) percent over historically compatible materials otherwise required by these LDRs. This factor may be demonstrated by submission of a written cost estimate by the proposed provider of materials which must be verified by city staff; and

Staff Analysis: The applicant has not requested replacement with windows and doors that are less expensive than what is being proposed.

- (3) That the replacement windows and doors match the old in design, color, texture and, where possible, materials where the property is significant for its architectural design or construction.

Staff Analysis: The proposed doors seek to match the old design in a manner that is compatible with the Mediterranean Revival architectural style of the building.

- (4) If the applicant avails himself of this paragraph the materials used must appear to be as historically accurate as possible and in keeping with the architectural style of the structure.

Staff Analysis: Not applicable, the applicant has not requested to be availed of this paragraph.

PUBLIC COMMENT:

At the time of publication of the agenda, staff has not received written public comment.

CONCLUSION:

The proposed application is consistent with the Mediterranean Revival architectural style and the Historic Preservation Design Guidelines requirements. If the Board determines that the replacement doors comply with the City's Historic Preservation requirements, staff has provided conditions below:

Conditions of Approval

- 1) The existing trim shall remain. If any element is too deteriorated for continued use, it shall be replaced in-kind, subject to staff review at permitting.
- 2) The proposed garage door shall be inset in and installed at the same depth of the existing garage doors. The garage door shall not be installed flush with the exterior wall.
- 3) Hardware and applied trim shall be installed in a manner to replicate the historic carriage garage doors as approved by staff at building permit. The applicant shall provide a drawing at permit of the exact configuration of the trim, door color/grain, hardware and the dimensions and depth of all trim at building permit.
- 4) The doors shall be recessed within the wall, and shall not be installed flush with the exterior wall.
- 5) All divided-light patterns shall be created utilizing exterior raised applied muntins. Exterior flat muntins or "grills between the glass" shall not be permitted.

- 6) All glazing shall be clear, non-reflective and without tint. Low-E (low emissivity) is allowed but the glass shall have a minimum 60% visible light transmittance (VLT) measured from the center of glazing. Glass tints or any other glass treatments shall not be combined with the Low-E coating to further diminish the VLT of the glass.

POTENTIAL MOTION:

I MOVE TO **APPROVE** HRPB Project Number 21-00100315 with staff recommended conditions for a Certificate of Appropriateness (COA) for door replacement for the property located at **531 North Lakeside Drive**, based upon the competent substantial evidence in the staff report and pursuant to the City of Lake Worth Beach Land Development Regulations and Historic Preservation requirements.

I MOVE TO **DENY** HRPB Project Number 21-00100315 for a Certificate of Appropriateness (COA) for door replacement for the property located at **531 North Lakeside Drive**, because the applicant has not established by competent substantial evidence that the application complies with the City of Lake Worth Beach Land Development Regulation and Historic Preservation requirements.

ATTACHMENTS:

- Applicant's Supporting Documentation



MEMORANDUM DATE: April 4, 2022

AGENDA DATE: April 13, 2022

TO: Chair and Members of the Historic Resources Preservation Board

RE: **1017 South Palmway**

FROM: Department for Community Sustainability

TITLE: **HRPB Project Number 22-00100147:** Consideration of a Certificate of Appropriateness (COA) for the construction of a ±3,660 square foot single-family structure on Lot 1, Block 40 at **1017 South Palmway**; PCN #38-43-44-27-01-040-0130. The subject property is located in the Single Family Residential (SFR) zoning district and the South Palm Park Local Historic District.

OWNER: Jens Property 1017 South Palmway, LLC
Nestor Rivera
1106 North G Street, Suite B
Lake Worth, FL 33460

ARCHITECT: Justin Contin, Contin Architecture & Design

PROPERTY DEVELOPMENT HISTORY:

The previous structure was condemned and approved for demolition in April of 2021.

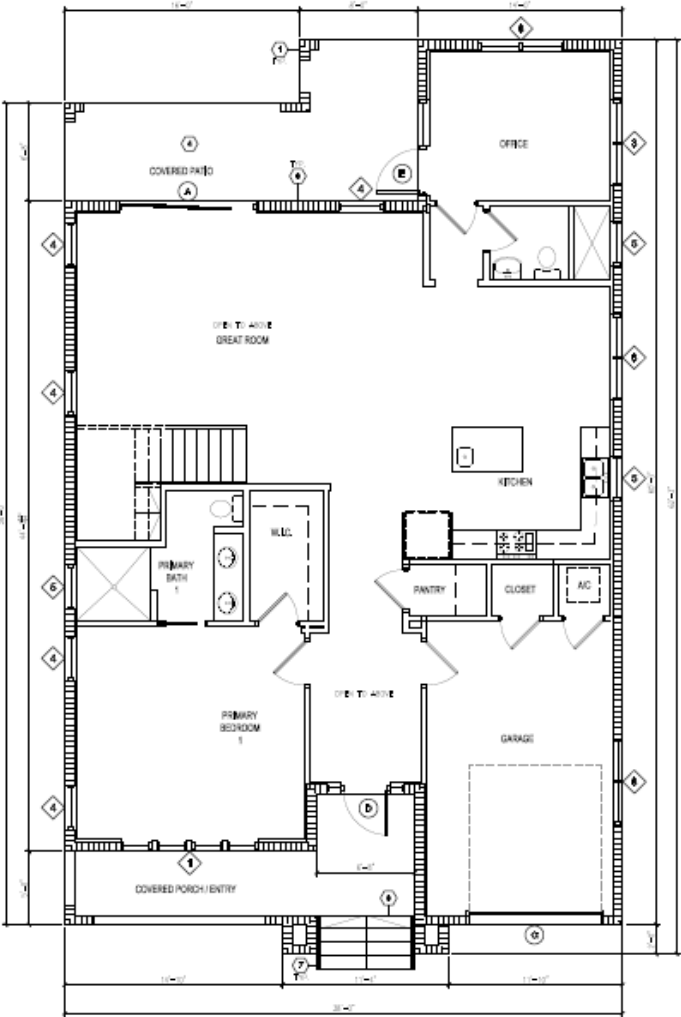
PROJECT DESCRIPTION:


The property owner, Jens Property 1017 South Palmway, LLC, is requesting a COA for construction of a new single-family residence. The subject property is located on the west side of South Palmway below 10th Avenue South. The proposed two-story single-family residence is designed to reflect the Prairie Style of Architecture. The Prairie Style will be a new introduction to the architectural styles in the South Palm Park Historic District. Features of this style include horizontal design elements, bands of multi-pane windows, low pitched roofs, and masonry porch posts.

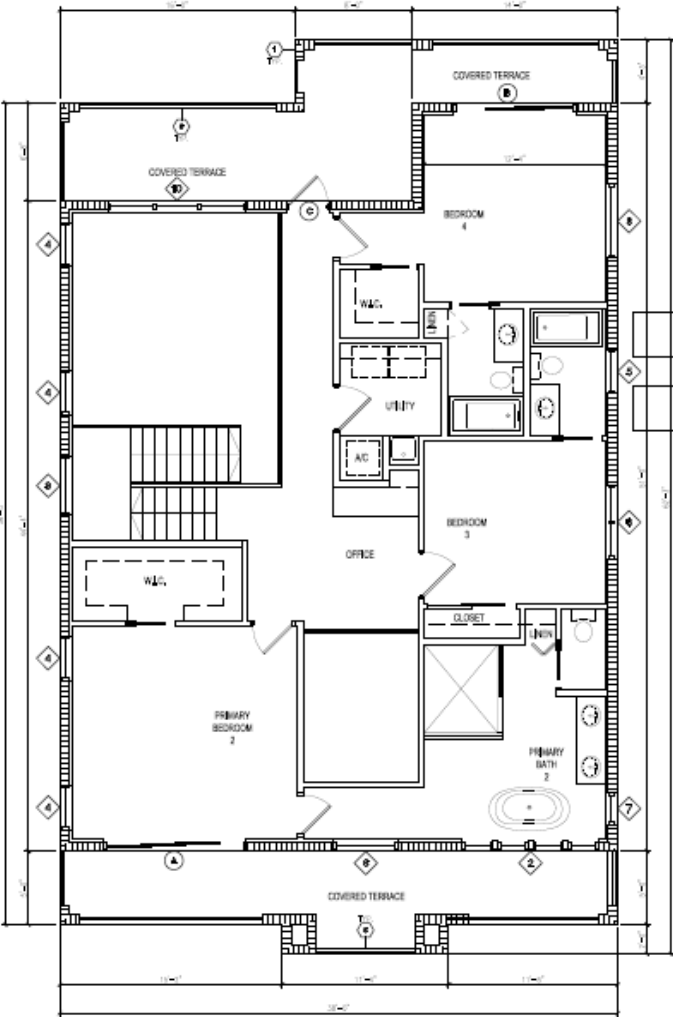
Exhibit A: Proposed New Construction – Street View




Exhibit B: Proposed New Construction – Plan View



 **FIRST FLOOR PLAN**
SCALE 1/4" = 1'-0"



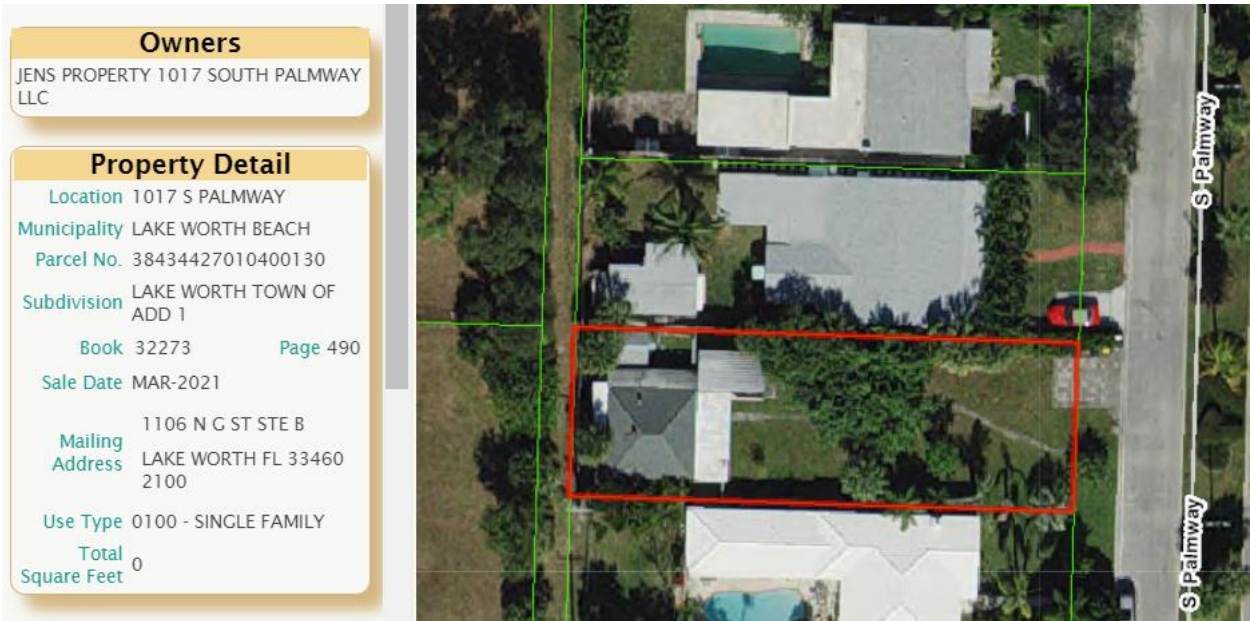
 **SECOND FLOOR PLAN**
SCALE 1/4" = 1'-0"

STAFF RECOMMENDATION: Staff recommends that the Board discuss whether the proposed building design is consistent with the previous direction by the HRPB, including compatibility with height and massing. Further, the HRPB is also tasked in the City’s Land Development Regulations (LDRs) to determine if the new single-family structure is consistent with the Historic Preservation Design Guidelines criteria for new construction. The proposed single-family site plan is generally consistent with the LDRs and will be reviewed for final approval at building permit for each lot.

PROPERTY DESCRIPTION:

Owner	Jens Property
General Location	West side of South Palmway below 10 th Avenue South
PCN	38-43-44-27-01-040-0130.
Zoning	Single Family Residential (SFR)
Existing Land Use	Single Family Residential (SFR)
Future Land Use Designation	Single Family Residential (SFR)

LOCATION MAP:



Consistency with the Comprehensive Plan

The subject site is located in the Single-Family Residential (SFR) designation. The future land use designation is also Single-Family Residential (SFR). As the proposed structure is a single-family, it is consistent with the intent of the Single-Family Residential (SFR) designation. The proposed single-family structure is also consistent with Goal 3.1, which seeks to achieve a supply of housing that offers a variety of residential unit types and prices for current and anticipated homeowners and renters in all household income levels by the creation and/or preservation of a full Range of quality housing units.

ZONING ANALYSIS: The subject application was reviewed for general consistency with the requirements of LDR Section 23.3-7 - SF-R—Single-family residential. The proposed project appears to be generally consistent with the requirements of the zoning district. Formal and complete review for compliance with the City’s Land Development Regulations, including landscaping and fencing/walls, will be conducted at building permit review. However, it should be noted that the walls/fencing depicted in the rendering is not consistent with the City’s Land Development Regulations. Fence and wall height are measured from

the grade of the adjacent property. Therefore, staff has drafted a condition of approval clarifying that review and approval of fencing material shall occur at building permit. The applicant is also proposing to utilize the provision in Section 23.3-7 to increase the property's Floor Area Ratio (FAR) by 0.05, which is permitted for single-family homes that are certified Florida Green Buildings.

HISTORIC PRESERVATION ANALYSIS

All new construction within a designated historic district shall be visually compatible. New buildings should take their design cues from the surrounding existing structures, using traditional or contemporary design standards and elements that relate to existing structures that surround them and within the historic district as a whole. Building design styles, whether contemporary or traditional, should be visually compatible with the existing structures in the district.

Section 23.5-4(k)(3) – Review/Decision

A. In approving or denying applications for certificates of appropriateness for new construction and additions (as applicable), the city shall also, at a minimum, consider the following additional guidelines which help to define visual compatibility in the applicable property's historic district:

- (1) The height of proposed buildings shall be visually compatible and in harmony with the height of existing buildings located within the historic district.

Staff Analysis: New construction in a FEMA flood zone is required to meet minimum base flood elevation requirements. For a two-story home, the height of the proposed buildings is visually compatible and in harmony with the heights of surrounding buildings as the low hip roof design minimizes the potential impact of the difference in height attributed to FEMA requirements.

- (2) The relationship of the width of the building to the height of the front elevation shall be visually compatible and in harmony with the width and height of the front elevation of existing buildings located within the district.

Staff Analysis: The width and height of the front elevation of the proposed building are in scale with the surrounding properties on similar parcels.

- (3) The openings of any building within a historic district should be visually compatible and in harmony with the openings in buildings of a similar architectural style located within the historic district. The relationship of the width of the windows and doors to the height of the windows and doors in a building shall be visually compatible with buildings within the district.

Staff Analysis: The proposed two-story single-family residence is designed to reflect the Prairie Style of Architecture. The Prairie Style will be a new introduction to the architectural styles in the South Palm Park Historic District.

- (4) The relationship of solids to voids in the front facade of a building or structure shall be visually compatible and in harmony with the front facades of historic buildings or structures located within the historic district. A long, unbroken facade in a setting of existing narrow structures can be divided into smaller bays which will complement the visual setting and the streetscape.

Staff Analysis: The elevations generally avoid long expanses of blank façade.

- (5) The relationship of a building to open space between it and adjoining buildings shall be visually compatible and in harmony with the relationship between buildings elsewhere within the district.

Staff Analysis: The proposed siting of the building is generally appropriate and visually compatible with the spatial relationships found between neighboring and similar buildings throughout the district.

- (6) The relationship of entrance and porch projections to sidewalks of a building shall be visually compatible and in harmony with the prevalent architectural styles of entrances and porch projections on buildings and structures within the district.

Staff Analysis: The proposed design utilizes front porches and recessed entryways that are visible from South Palmway. The entryways are connected to the public sidewalk via a concrete paver walkway.

- (7) The relationship of the materials, texture and color of the façade of a building shall be visually compatible and in harmony with the predominant materials used in the buildings and structures of a similar style located within the historic district.

Staff Analysis: The building will be constructed of concrete block and finished with smooth stucco, siding and a low hip roof. These materials are generally appropriate and found throughout the historic districts.

- (8) The roof shape of a building or structure shall be visually compatible and in harmony with the roof shape of buildings or structures of a similar architectural style located within the Northeast Lucerne Local Historic District.

Staff Analysis: The proposed roof shape is compatible with the architectural design of the building.

- (9) Appurtenances of a building, such as walls, wrought iron, fences, evergreen, landscape masses and building facades, shall, if necessary, form cohesive walls of enclosures along a street to insure visual compatibility of the building to the buildings and places to which it is visually related.

Staff Analysis: The site plan includes a stucco and rail enclosure with horizontal rail gates for detailing. The design is generally compatible and complimentary to the surrounding environment.

- (10) The size and mass of a building in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible and in harmony with the buildings and places to which it is visually related.

Staff Analysis: The size and mass of the buildings are generally appropriate for the surrounding neighborhood.

- (11) A building shall be visually compatible and in harmony with the buildings and places to which it is visually related in its directional character: vertical, horizontal or non-directional.

Staff Analysis: The proposed building is visually compatible and in harmony with the buildings and places to which it is visually related in its directional character.

- (12) The architectural style of a building shall be visually compatible with other buildings to which it is related in the historic district, but does not necessarily have to be in the same style of buildings in the district. New construction or additions to a building are encouraged to be appropriate to the style of the period in which it is created and not attempt to create a false sense of history.

Staff Analysis: Although the Prairie Architectural Style is a new introduction to the South Palm Park Historic district it is compatible with and compliments the adjacent homes within the district.

- (13) In considering applications for certificates of appropriateness to install mechanical systems which affect the exterior of a building or structure visible from a public right-of-way, the following criteria shall be considered:

- (a) Retain and repair, where possible, historic mechanical systems in their original location, where possible.

Staff Analysis: This requirement is not applicable to the new construction project on a vacant property.

- (b) New mechanical systems shall be placed on secondary facades only and shall not be placed on, nor be visible from, primary facades.

Staff Analysis: Staff will condition the project so that all mechanical equipment be located within the back yard and outside of required setbacks.

- (c) New mechanical systems shall not damage, destroy or compromise the physical integrity of the structure and shall be installed so as to cause the least damage, invasion or visual obstruction to the structure's building materials, or to its significant historic, cultural or architectural features.

Staff Analysis: This requirement is not applicable to the new construction project on a vacant property.

- (14) The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designated with the overall environment in mind and should be in keeping visually with related buildings and structures.

Staff Analysis: The proposed new construction project is generally consistent with all site data requirements in the City's Zoning Code. The proposed site design, including off-street parking, and walkways are generally compatible with the surrounding neighborhood. If approved by the Board, staff has included a condition that final site plan review and approval will occur at building permit for each lot. However, the proposed fencing/walls depicted in the applicant's rendering would need to be modified at building permit for compliance with the LDRs.

B. In considering certificates of appropriateness for new buildings or structures, which will have more than one primary facade, such as those on corner lots facing more than one street, the HRPB shall apply the visual compatibility standards to each primary facade.

Staff Analysis: The visual compatibility standards have only been applied to portions that will be visible from South Palmway.

New Construction:

Per the LWBHPDG pg. 216; *"New construction can be designed utilizing the architectural language of one of the 10 defined primary styles, or an alternative yet compatible style. It is very important that new construction not hybridize the styles, borrowing pieces from one and another. This approach creates confusion and dilutes the intrinsic value of the historic structures and styles. The best approach is to choose one style of architecture, and to design a structure that utilizes the common characteristics, proportions, and materials of that style."*

Per the LWBHPDG pg. 218; *"When building a new structure within a historic district, the owner should consider the variety of historic styles in Lake Worth beach, choose one, and design a structure consistent with the details provided in this guide."*

Staff Analysis: Although the design of the structure is new to the South Palm Park Historic District, it is compatible with other buildings in the historical district.

PUBLIC COMMENT:

At the time of publication of the agenda, staff has received not received written public comment.

CONCLUSION:

The proposed application is consistent with requirements for new construction in historic districts. If the Board determines that the structure complies with the City's Historic Preservation requirements, staff has provided conditions for the new construction below:

Conditions of Approval

- 1) The doors may utilize clear glass, frosted, obscure glass, or glass with a Low-E coating (60% minimum VLT). Tinted, highly reflective, grey, colored, etched, or leaded glass shall not be used.
- 2) The windows shall be recessed a minimum of two inches (2”) in the wall, and shall not be installed flush with the exterior wall.
- 3) The windows shall utilize glazing that is clear, non-reflective, and without tint. Low-E (low emissivity) is allowed but the glass shall have a minimum 60% visible light transmittance (VLT) measured from the center of glazing. Glass tints or any other glass treatments shall not be combined with the Low-E coating to further diminish the VLT of the glass.
- 4) All improved surfaces shall be setback a minimum of 1’-0” from property lines to allow for adequate water runoff within the property boundary.
- 5) All mechanical equipment shall be located behind the front façade of the structure and outside of required setbacks.
- 6) A minimum of 1 shade tree shall be required in the front yard of each 25’ lot. Landscaping shall be reviewed for compliance with the City’s landscape requirements at permit.
- 7) Zoning compliance for the proposed single-family shall be determined at building permit review.
- 8) A permit for new construction shall be submitted concurrently with the demolition permit.
- 9) All fencing and gate locations, heights, and materials shall be reviewed by staff at permitting. Staff recommends horizontal fencing as opposed to the vertical slat aluminum fencing. Fence and wall height are required to be measured from the grade of the adjacent property.
- 10) A minimum of 1 shade tree shall be required in the front yard of each 25’ lot. Landscaping shall be reviewed for compliance with the City’s landscape requirements at permit.
- 11) Prior to the issuance of a Certificate of Occupancy, documentation that the new single-family home has a Florida Green Building certification is required. Prior to the issuance of building permit, documentation related to the application for this certification shall be required.

POTENTIAL MOTION:

I MOVE TO **APPROVE** HRPB Project Number 22-00100147 with staff recommended conditions for a Certificate of Appropriateness (COA) for new construction for the property located at **1017 South Palmway**, based upon the competent substantial evidence in the staff report and pursuant to the City of Lake Worth Beach Land Development Regulations and Historic Preservation requirements.

I MOVE TO **DENY** HRPB Project Number 22-00100147 for a Certificate of Appropriateness (COA) for new construction for the property located at **1017 South Palmway**, because the applicant has not established by competent substantial evidence that the application complies with the City of Lake Worth Beach Land Development Regulation and Historic Preservation requirements.

ATTACHMENTS:

Applicant’s plans and supporting documents



MEMORANDUM DATE: April 4, 2022

AGENDA DATE: April 13, 2022

TO: Chair and Members of the Historic Resources Preservation Board

RE: **428 North J Street**

FROM: Department for Community Sustainability

TITLE: HRPB Project Number 22-00100146: Consideration of a Certificate of Appropriateness (COA) for the demolition of an existing structure and the construction of a ±1309 square foot single-family structure with a ±342 sf accessory structure on Lot 14, Block 114 at **428 North J Street**; PCN #38-43-44-21-15-114-0140. The subject property is located in the Single-Family/Two-Family Residential (SF-TF-14) zoning district and the Northeast Lucerne Local Historic District.

OWNER: 428 North J Street, LLC
Andrew Avitan
6586 Hypoluxo Rd. #106
Lake Worth, FL 33467

ARCHITECT: Justin Contin, Contin Architecture & Design

PROPERTY DEVELOPMENT HISTORY:

According to the property appraiser's files, a single-story Wood Frame Vernacular structure was constructed in 1936. A second story addition was permitted and completed in 1941. Vinyl siding, windows, and storm panels were added in 2002. In the adopted historical resources survey, this structure was listed as non-contributing. In the Lake Worth Historical Resources Survey Update, Phase 1 (FMSF Associated Manuscript #24385) that was conducted in 2017, the structure was identified as contributing. The property is listed on the Florida Master Site File as PB16649. However, this survey was not formally adopted and the structure is considered non-contributing in the district.

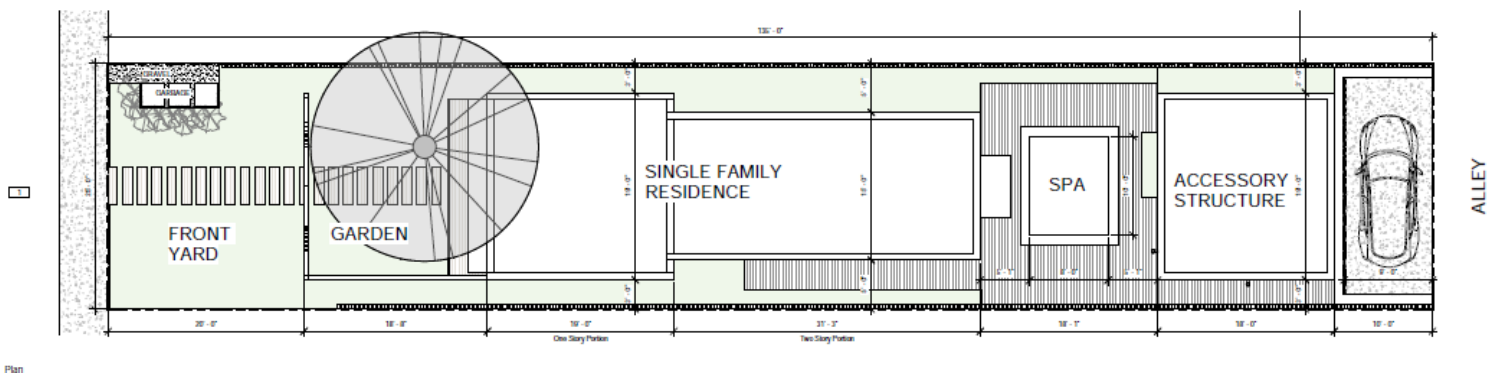
PROJECT DESCRIPTION:

The property owner, 428 North J Street, LLC, is requesting a COA for demolition of the existing two-story structure at the rear of the property and construction of a +/- 1,309 sf new single-family residence. The subject property is located on the east side of North J Street below 5th Avenue. The proposed new construction includes a patio with spa, accessory structure (+/-342 sf), and parking spot. They also propose construction of an aluminum slat facade at the front setback to create a semi-enclosed front entry garden around an existing mature mango tree (~40' tall). The proposed profile of this facade is designed to be in keeping with the historic Lake Worth Cottage aesthetic.

Exhibit A: Proposed New Construction – Street View



Exhibit B: Proposed New Construction – Plan View

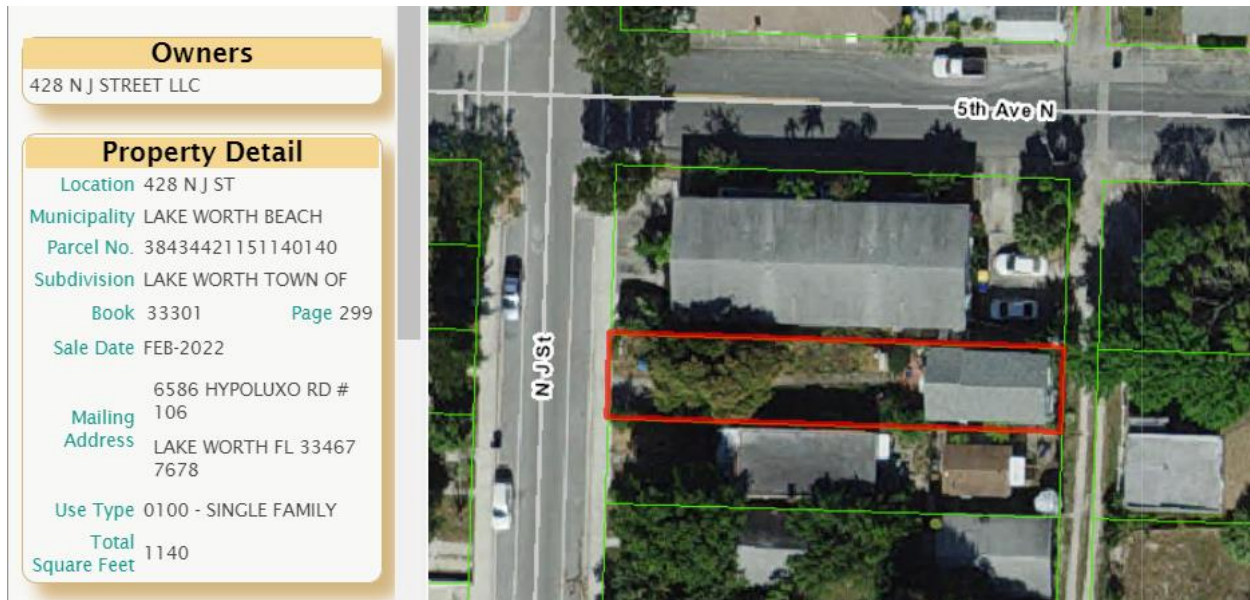


STAFF RECOMMENDATION: Staff recommends that the Board discuss the demolition of the existing non-contributing structure and whether the proposed building design is consistent with the previous direction by the HRPB. Further, the HRPB is also tasked in the City's Land Development Regulations (LDRs) to determine if the new single-family structure is consistent with the Historic Preservation Design Guidelines criteria for new construction. The proposed single-family site plan is generally consistent with the LDRs and will be reviewed for final approval at building permit. Staff is recommending approval of the proposed application.

PROPERTY DESCRIPTION:

Owner	428 North J Street, LLC
General Location	East side of North J Street below 5 th Ave
PCN	38-43-44-21-15-114-0140
Zoning	Single-Family/Two-Family Residential (SF-TF-14)
Existing Land Use	Single Family Residential (SFR)
Future Land Use Designation	Medium-Density Residential (MDR)

LOCATION MAP:



Consistency with the Comprehensive Plan

The subject site is located in the Single-Family Residential (SFR) designation. The future land use designation is Multi-Dwelling Unit (MDU). As the proposed structure is a single-family, it is consistent with the intent of the Multi-Dwelling Unit designation.

The proposed single-family structure is also consistent with Goal 3.1, which seeks to achieve a supply of housing that offers a variety of residential unit types and prices for current and anticipated homeowners and renters in all household income levels by the creation and/or preservation of a full Range of quality housing units.

ZONING ANALYSIS: The subject application was reviewed for general consistency with the requirements of LDR Section 23.3-8. - SF-TF 14—Single-family and two-family residential. The proposed project appears

to be generally consistent with the requirements of the zoning district. However, formal and complete review for compliance with the City's Land Development Regulations, including landscaping, will be conducted at building permit review. Further, the replacement structure would reduce existing non-conformities in setback of the existing property.

HISTORIC PRESERVATION ANALYSIS

Proposed demolitions and new construction are required to be reviewed for consistency with the historic preservation review criteria (Section 23.5-4). Further, all new construction within a designated historic district shall be visually compatible. New buildings should take their design cues from the surrounding existing structures, using traditional or contemporary design standards and elements that relate to existing structures that surround them and within the historic district as a whole. Building design styles, whether contemporary or traditional, should be visually compatible with the existing structures in the district. The following sections of this report analyze the proposed application's compliance with the decision criteria for both the demolition and new construction.

Section 23.5-4(k)(3) – Review/Decision - Demolition

A. All requests for demolition shall require a certificate of appropriateness. No certificate of appropriateness for demolition of a landmark or contributing property shall be issued by the HRPB unless the applicant has demonstrated that no other feasible alternative to demolition can be found. In making its decision to issue or deny a certificate of appropriateness to demolish, in whole or in part, a landmark building or structure, the HRPB shall, at a minimum, consider the following additional decision-making criteria and guidelines:

(1) Is the structure of such interest or quality that it would reasonably fulfill criteria for designation as a landmark on the National Register of Historic Places?

Staff Analysis: No, the structure is not of such an interest or quality to qualify for landmark designation.

(2) Is the structure of such design, texture, craftsmanship, size, scale, detail, unique location or material that it could be reproduced only with great difficulty or economically unreasonable expense?

Staff Analysis: No, the structure is not of such design, texture, craftsmanship, size, scale, detail, unique location or material that it could be reproduced only with great difficulty or economically unreasonable expense.

(3) Is the structure one of the few remaining examples of its kind in the city?

Staff Analysis: No, the structure is not the only one of its or one of the few remaining examples.

(4) Would retaining the structure promote the general welfare of the city by providing an opportunity to study local history, architecture and design or by developing an understanding of the importance and value of a particular culture or heritage?

Staff Analysis: No, the structure is not significant to the promotion of the general welfare of the city.

(5) Does the permit application propose simultaneous demolition and new construction? If new construction is proposed, will it be compatible with its surroundings (as defined above) and, if so, what effect will those plans have on the character of the surrounding sites or district?

Staff Analysis: The new structure is compatible with its surroundings, is of more substantial architectural interest, and would reduce non-conformities with the zoning code with regards to setbacks.

(6) Would granting the certificate of appropriateness for demolition result in an irreparable loss to the city of a significant historic resource?

Staff Analysis: No, demolition of the structure and the replacement with the proposed structure does not represent an irreparable loss to the city of a significant historic resource.

(7) Are there definite plans for the immediate reuse of the property if the proposed demolition is carried out, and what effect will those plans have on the architectural, historic, archeological or environmental character of the surrounding area or district?

Staff Analysis: There are plans for immediate reuse of the property. Staff has recommended a condition of approval requiring the concurrent application of the demolition permit with the building permit for new construction.

(8) Is the building or structure capable of earning reasonable economic return on its value?

Staff Analysis: The proposed building and the new development are consistent with this criterion.

9) Would denial of demolition result in an unreasonable economic hardship for the property owner?

Staff Analysis: No, denial of the demolition would not result in an unreasonable economic hardship for the property owner.

(10) Does the building or structure contribute significantly to the historic character of a designated historic district and to the overall ensemble of buildings within the designated historic district?

Staff Analysis: No, the structure does not contribute significantly to the historic character of the designated district or to the overall ensemble of buildings. The structure has been modified overtime and does not meet current code requirements. Further, the rear addition does not have glazing typical of the architectural style on the second floor and the condition of the historic siding is unknown under the vinyl siding.

(11) Has demolition of the designated building or structure been ordered by an appropriate public agency because of unsafe conditions?

Staff Analysis: No, it has not.

(12) Have reasonable measures been taken to save the building from further deterioration, collapse, arson, vandalism or neglect?

Staff Analysis: This criterion is not applicable to the subject application.

Section 23.5-4(k)(3) – Review/Decision

A. In approving or denying applications for certificates of appropriateness for new construction and additions (as applicable), the city shall also, at a minimum, consider the following additional guidelines which help to define visual compatibility in the applicable property's historic district:

- (1) The height of proposed buildings shall be visually compatible and in harmony with the height of existing buildings located within the historic district.

Staff Analysis: The height of the proposed buildings is visually compatible and in harmony with the heights of surrounding buildings.

- (2) The relationship of the width of the building to the height of the front elevation shall be visually compatible and in harmony with the width and height of the front elevation of existing buildings located within the district.

Staff Analysis: The width and height of the front elevation of the proposed building are in scale with the surrounding properties on similar parcels.

- (3) The openings of any building within a historic district should be visually compatible and in harmony with the openings in buildings of a similar architectural style located within the historic district. The relationship of the width of the windows and doors to the height of the windows and doors in a building shall be visually compatible with buildings within the district.

Staff Analysis: The proposed window openings on the front facades are typical for the shape of the building. The design's narrow façade, flat roof lines, and windows most closely resemble the massing of an international building, which utilize a simplistic structure with a noted lack of ornamentation.

- (4) The relationship of solids to voids in the front facade of a building or structure shall be visually compatible and in harmony with the front facades of historic buildings or structures located within the historic district. A long, unbroken facade in a setting of existing narrow structures can be divided into smaller bays which will complement the visual setting and the streetscape.

Staff Analysis: The elevations generally avoid long expanses of blank façade.

- (5) The relationship of a building to open space between it and adjoining buildings shall be visually compatible and in harmony with the relationship between buildings elsewhere within the district.

Staff Analysis: The proposed siting of the building is generally appropriate and visually compatible with the spatial relationships found between neighboring and similar buildings throughout the district.

- (6) The relationship of entrance and porch projections to sidewalks of a building shall be visually compatible and in harmony with the prevalent architectural styles of entrances and porch projections on buildings and structures within the district.

Staff Analysis: The proposed design utilizes a unique aluminum slat façade to enclose the front garden. This façade merges the traditional design elements of the neighborhood with the more modern international design of the new construction. The entryways are connected to the public sidewalk via a paver walkway.

- (7) The relationship of the materials, texture and color of the façade of a building shall be visually compatible and in harmony with the predominant materials used in the buildings and structures of a similar style located within the historic district.

Staff Analysis: The building will be constructed of concrete block and finished with smooth stucco, siding and a flat roof. These materials are generally appropriate and found throughout the historic districts.

- (8) The roof shape of a building or structure shall be visually compatible and in harmony with the roof shape of buildings or structures of a similar architectural style located within the Northeast Lucerne Local Historic District.

Staff Analysis: The proposed roof shape is compatible with the architectural design of the building.

- (9) Appurtenances of a building, such as walls, wrought iron, fences, evergreen, landscape masses and building facades, shall, if necessary, form cohesive walls of enclosures along a street to insure visual compatibility of the building to the buildings and places to which it is visually related.

Staff Analysis: The site plan includes a unique aluminum slat façade to enclose the front garden. The design is generally compatible and complimentary to the surrounding environment.

- (10) The size and mass of a building in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible and in harmony with the buildings and places to which it is visually related.

Staff Analysis: The size and mass of the buildings are generally appropriate for the surrounding neighborhood.

- (11) A building shall be visually compatible and in harmony with the buildings and places to which it is visually related in its directional character: vertical, horizontal or non-directional.

Staff Analysis: The proposed building is visually compatible and in harmony with the buildings and places to which it is visually related in its directional character.

- (12) The architectural style of a building shall be visually compatible with other buildings to which it is related in the historic district, but does not necessarily have to be in the same style of buildings in the district. New construction or additions to a building are encouraged to be appropriate to the style of the period in which it is created and not attempt to create a false sense of history.

Staff Analysis: Although the design of the structure is modern in nature, it is compatible with other buildings in the historical district.

(13) In considering applications for certificates of appropriateness to install mechanical systems which affect the exterior of a building or structure visible from a public right-of-way, the following criteria shall be considered:

- (a) Retain and repair, where possible, historic mechanical systems in their original location, where possible.

Staff Analysis: This requirement is not applicable to the new construction project on a vacant property.

- (b) New mechanical systems shall be placed on secondary facades only and shall not be placed on, nor be visible from, primary facades.

Staff Analysis: Staff will condition the project so that all mechanical equipment be located within the back yard and outside of required setbacks.

- (c) New mechanical systems shall not damage, destroy or compromise the physical integrity of the structure and shall be installed so as to cause the least damage, invasion or visual obstruction to the structure's building materials, or to its significant historic, cultural or architectural features.

Staff Analysis: This requirement is not applicable to the new construction project on a vacant property.

(14) The site should consider the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designated with the overall environment in mind and should be in keeping visually with related buildings and structures.

Staff Analysis: The proposed new construction project is generally consistent with all site data requirements in the City's Zoning Code. The proposed site design, including off-street parking, fencing, gates, and walkways are generally compatible with the surrounding neighborhood. If approved by the Board, staff has included a condition that final site plan review and approval will occur at building permit.

B. In considering certificates of appropriateness for new buildings or structures, which will have more than one primary facade, such as those on corner lots facing more than one street, the HRPB shall apply the visual compatibility standards to each primary facade.

Staff Analysis: The visual compatibility standards have only been applied to portions that will be visible from North J Street.

New Construction:

Per the LWBHPDG pg. 216; *“New construction can be designed utilizing the architectural language of one of the 10 defined primary styles, or an alternative yet compatible style. It is very important that new construction not hybridize the styles, borrowing pieces from one and another. This approach creates confusion and dilutes the intrinsic value of the historic structures and styles. The best approach is to choose one style of architecture, and to design a structure that utilizes the common characteristics, proportions, and materials of that style.”*

Per the LWBHPDG pg. 218; *“When building a new structure within a historic district, the owner should consider the variety of historic styles in Lake Worth beach, choose one, and design a structure consistent with the details provided in this guide.”*

Staff Analysis: Although the design of the structure is modern in nature, it is compatible with other buildings in the historical district.

PUBLIC COMMENT:

At the time of publication of the agenda, staff has received not received written public comment.

CONCLUSION:

The proposed application is consistent with requirements for new construction in historic districts. If the Board determines that the demolition of the existing structure complies with the City’s Historic Preservation requirements, staff has provided conditions for the new construction below:

Conditions of Approval

- 1) The doors may utilize clear glass, frosted, obscure glass, or glass with a Low-E coating (60% minimum VLT). Tinted, highly reflective, grey, colored, etched, or leaded glass shall not be used.
- 2) The windows shall be recessed a minimum of two inches (2”) in the wall, and shall not be installed flush with the exterior wall.
- 3) The windows shall utilize glazing that is clear, non-reflective, and without tint. Low-E (low emissivity) is allowed but the glass shall have a minimum 60% visible light transmittance (VLT) measured from the center of glazing. Glass tints or any other glass treatments shall not be combined with the Low-E coating to further diminish the VLT of the glass.
- 4) All improved surfaces shall be setback a minimum of 1’-0” from property lines to allow for adequate water runoff within the property boundary.
- 5) All mechanical equipment shall be located behind the front façade of the structure and outside of required setbacks.
- 6) A minimum of 1 shade tree shall be required in the front yard of each 25’ lot. Landscaping shall be reviewed for compliance with the City’s landscape requirements at permit.
- 7) Zoning compliance for the proposed single-family shall be determined at building permit review.
- 8) A permit for new construction shall be submitted concurrently with the demolition permit.

POTENTIAL MOTION:

I MOVE TO **APPROVE** HRPB Project Number 22-00100146 with staff recommended conditions for a Certificate of Appropriateness (COA) for the demolition of an existing structure and the construction of a ± 1309 square foot single-family structure and accessory structure for the property located at **428 North**

J Street, based upon the competent substantial evidence in the staff report and pursuant to the City of Lake Worth Beach Land Development Regulations and Historic Preservation requirements.

I MOVE TO **DENY** HRPB Project Number 22-00100146 for a Certificate of Appropriateness (COA) for the demolition of an existing structure and the construction of a ± 1309 square foot single-family structure and accessory structure for the property located at **428 North J Street**, because the applicant has not established by competent substantial evidence that the application complies with the City of Lake Worth Beach Land Development Regulation and Historic Preservation requirements.

ATTACHMENTS:

Applicant's plans and supporting materials



DATE: March 30, 2022

TO: Members of the Planning & Zoning and Historic Resources Preservation Boards

FROM: William Waters, Director Community Sustainability

MEETING: April 6 & April 13, 2022

SUBJECT: **PZHP 22-03100001 (Ordinance 2022-06)**: Consideration of an ordinance amending Chapter 23 “Land Development Regulations,” Article 2 “Administration,” Division 2 “Procedures,” adding a new Section 23.3-20 “Applicant’s Public Neighborhood Meeting and Outreach,” providing for an applicant held public neighborhood meeting and virtual outreach.

PROPOSAL / BACKGROUND/ ANALYSIS:

The subject amendment to the City’s Land Development Regulations (LDR) was drafted based on City Commission direction to staff to prepare an amendment to the LDRs to provide both formality and consistency to neighborhood outreach by applicants/developers with a proposed development application. Specifically, applicants/developers will be required to hold a public neighborhood meeting and provide virtual outreach to ensure City residents and business owners have knowledge of the proposed application and opportunity to comment on proposed development prior to the City’s public consideration of these applications. The amendment would add a new section to the City’s LDRs requiring said public neighborhood meeting and virtual outreach for all Planned Developments, Developments of Significant Impact, and Lake Worth Beach Community Redevelopment Agency (“CRA”) sponsored new construction projects along the City’s major thoroughfares as well as those utilizing the City’s Sustainable Bonus Incentive Program, Transfer Development Rights Program and/or Economic Investment Incentives.

The proposed amendments would add a new section to the LDR in Chapter 23 of the City’s Code of Ordinances:

- Article 2, Section 23.2-20 - Applicant’s Public Neighborhood Meeting and Virtual Outreach

STAFF RECOMMENDATION:

Staff recommends that the Planning and Zoning Board and Historic Resources Preservation Board recommend that the City Commission adopt PZHP 22-03100001 (Ordinance 2022-06).

POTENTIAL MOTION:

I move to RECOMMEND/NOT RECOMMEND TO THE CITY COMMISSION **TO ADOPT** the proposed LDR text amendments included in PZHP 22-03100001 (Ordinance 2022-06).

Attachments

- A. Draft Ordinance 2022-06



MEMORANDUM DATE: April 4, 2022

AGENDA DATE: April 13, 2022

TO: Chair and Members of the Historic Resources Preservation Board

RE: **403 4th Ave South**

FROM: Department for Community Sustainability

TITLE: **HRPB Project Number 22-00100021:** Consideration of a Certificate of Appropriateness (COA) for window replacement in a building located at 403 4th Avenue South; PCN# 38-43-44-21-15-159-0070. The subject property is a non-contributing resource within the Southeast Lucerne Historic District and is located in the Mixed-Use Federal Hwy (MU-FH) zoning district. The future land use designation is Mixed-Use East (MU-E).

OWNER(S): Michael and Lisa Lockwood
9858 Clint Moore Road #C111
Boca Raton, FL 33496

CONTRACTOR: Kline Construction Group

PROPERTY DEVELOPMENT HISTORY:

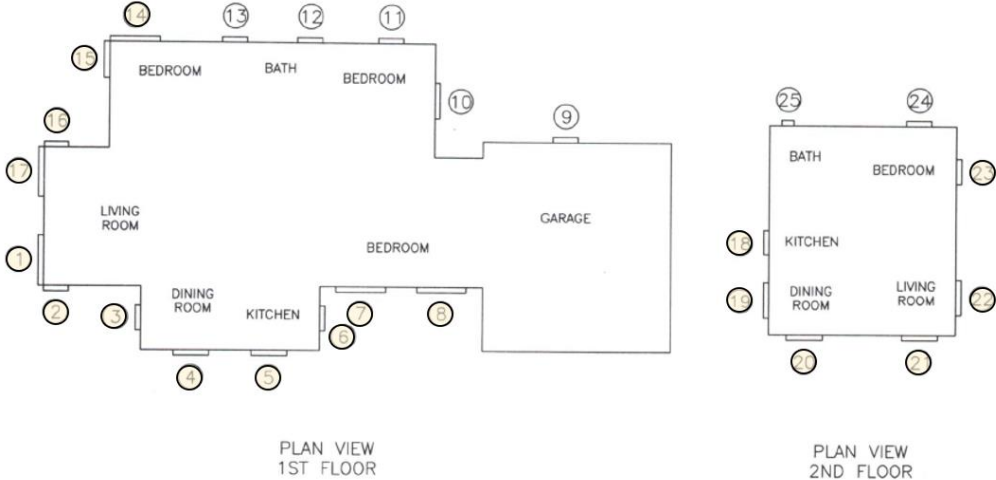
According to the property appraiser's files, the two-story structure was constructed in 1953. The property is listed on the Florida Master Site File (FMSF) as PB19822. Its National Register eligibility has not been evaluated by the State Historic Preservation Officer (SHPO). One previous COA was issued in 2014, COA #14-00100009, for a roof replacement.

PROJECT DESCRIPTION:

The property owner, Michael Lockwood, is requesting a COA for window replacements for the building located at 403 4th Avenue South, along with approval to use gray glass in lieu of clear glazing. The subject property is located on the corner of 4th Avenue South and South Federal Highway. The proposal is for replacement of 25 windows. Of these, 18 are located along the front and side of the building and require historic review and approval.

The contractor, Kline Construction Group, was not familiar with working in the historic district and has already purchased all 25 windows with gray glass. The COA application proposed to replace the existing awning windows with horizontal rollers replicating a four horizontal light window pattern with exteriorly applied, raised muntins.

Exhibit A: Window locations



Yellow indicates windows requiring Historic review and approval.



An example of windows visible from 4th Avenue South and North Federal Highway



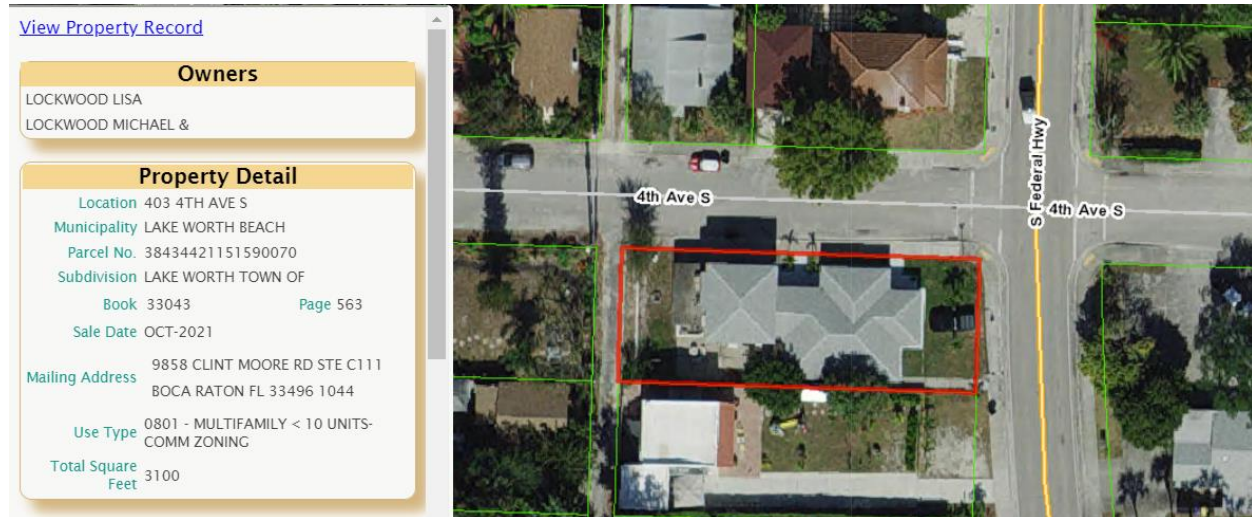
Aerial view from 4th Avenue South

STAFF RECOMMENDATION: Staff is recommending denial of the proposed gray glass windows based on previous direction by the HRPB and the requirements in the Historic Preservation Design Guidelines. The proposed window locations are depicted in Exhibit A on pages 2 & 3. The applicant is requesting the following window specifications including:

- The use of horizontal rollers and applied muntins to replicate the look of horizontal divided lights.
- The use of gray glass in lieu of clear glazing.

Owner	Michael and Lisa Lockwood
General Location	The corner of 4 th Avenue South and North Federal Highway
PCN	38-43-44-21-15-159-0070
Zoning	Southeast Lucerne Historic District
Existing Land Use	Mixed-Use Federal Hwy (MU-FH)
Future Land Use Designation	Mixed-Use East (MU-E)

LOCATION MAP:



Consistency with the Comprehensive Plan

The proposed project is consistent with Goal 1.4 of the Comprehensive Plan, which encourages preservation and rehabilitation of historic resources. Policy 3.4.2.1 insists that properties of special value for historic, architectural, cultural, or aesthetic reasons be restored and preserved through the enforcement of the City’s Historic Preservation Ordinance to the extent feasible. Per the City’s Historic Preservation Ordinance (LDR Sec. 23.5-4), the Lake Worth Beach Historic Preservation Design Guidelines, and the Secretary of Interior Standards for Rehabilitation, the replacement of missing features should be substantiated by documentary, physical, or pictorial evidence. The current proposal seeks to replicate the appearance of the original windows with externally applied, raised muntins.

HISTORIC PRESERVATION ANALYSIS:

Historic Preservation Design Guidelines

The City’s Historic Preservation Design Guidelines provide a guide for compatible windows for historic structures within the historic districts. Windows are amongst the most important character-defining architectural features, but they are also one of the most commonly replaced or added features of a building. The addition, replacement, or modification of windows should match the original features in design, color, texture, and other visual qualities and, where possible, materials. The Masonry Vernacular architectural style featured rectilinear groups of fixed-pane windows as described in the Masonry Vernacular section of the City’s Historic Preservation Design Guidelines.

Staff Analysis: The window replacements are depicted in the applicant’s drawings (see attachments). Based on the existing original windows and the City’s Historic Preservation Design Guidelines, staff contends that the replacement windows are appropriate provided the proposed windows successfully replicate windows appropriate for the architectural style. The use of gray glass has not typically been approved.

Section 23.5-4(k)(3)(A) – Review/Decision

Certificate of Appropriateness

All exterior alterations to structures within a designated historic district are subject to visual compatibility criteria. Staff has reviewed the documentation and materials provided in this application and outlined the applicable guidelines and standards found in the City’s Historic Preservation Ordinance, detailed in the section below. The Masonry Vernacular architectural style section of the City’s Historic Preservation Design Guidelines is included as **an attachment**.

Section 23.5-4(K)(1) *General guidelines for granting certificates of appropriateness*

1. *In general.* In approving or denying applications for certificates of appropriateness, the city shall, at a minimum, consider the following general guidelines:

- A. What is the effect of the proposed work on the landmark or the property upon which such work is to be done?

Staff Analysis: Based on the existing original windows and the City’s Historic Preservation Design Guidelines, staff contends that the proposal is *successful* in replicating the original window design. However, the proposed windows utilize gray glass, which has not been considered an appropriate replacement for clear glazing. The applicant has provided a justification statement included as an attachment.

- B. What is the relationship between such work and other structures on the landmark site or other property in the historic district?

Staff Analysis: The proposed window replacement will have no direct physical effect on any surrounding properties within the Southeast Lucerne Local Historic District.

- C. To what extent will the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture, materials and color of the landmark or the property be affected?

Staff Analysis: Per the regulations set forth in the City’s Historic Preservation Design Guidelines, replacement windows shall replicate their appearance. New windows are being proposed that replicate the divide light pattern of the original awning windows.

- D. Would denial of a certificate of appropriateness deprive the property owner of reasonable beneficial use of his property?

Staff Analysis: No, denial of the COA would not deprive the applicant of reasonable use of the property.

- E. Are the applicant's plans technically feasible and capable of being carried out within a reasonable time?

Staff Analysis: Yes, the applicant’s plans can be completed in a reasonable timeframe.

- F. Are the plans (i) consistent with the city's design guidelines, once adopted, or (ii) in the event the design guidelines are not adopted or do not address the relevant issue, consistent as reasonably possible with the applicable portions of the United States Secretary of the Interior's Standards for Rehabilitation then in effect?

Staff Analysis: The proposal, is in compliance with the City's Historic Preservation Design Guidelines Design Guidelines, Secretary of the Interior's Standards for Rehabilitation, and the City's Land Development Regulations, Historic Preservation Ordinance (LDR Sec. 23.5-4). However, staff has concerns with gray glass being utilized instead of clear glazing.

- G. What are the effects of the requested change on those elements or features of the structure which served as the basis for its designation and will the requested changes cause the least possible adverse effect on those elements or features?

Staff Analysis: The structure is designated as a non-contributing resource within a local historic district. The resource is a Masonry Vernacular building, which has a distinct set of architectural characteristics. As a non-contributing structure there is less of an effect on the structure and its designation.

Section 23.5-4(K)(2) *Additional guidelines for alterations and additions.* In approving or denying applications for certificates of appropriateness for alterations and additions, the city shall also consider the following additional guidelines:

Noncontributing structures: For noncontributing structures in historic districts, alterations and additions that are determined to not be visible from a public street shall not require further administrative review; alterations and additions that are visible from a public street shall be reviewed only for their compliance with the LDRs and whether the addition or alteration's height, mass and orientation to a public street are compatible with neighboring buildings in the district, and whether major changes to the building include design and materials compatible with the district as a whole and maintain an overall integrity of architectural style for the building. Therefore, the following questions should be considered:

- A. Is this a change to the primary façade?
B. Is the change visually compatible and in harmony with its neighboring properties as viewed from a public street?

Staff Analysis: The proposed gray glass is not visually compatible with the neighborhood character of the district and does not comply with the design guidelines.

PUBLIC COMMENT:

At the time of publication of the agenda, staff has not received written public comment.

CONCLUSION:

The proposed application is not consistent with the Masonry Vernacular architectural style and the Historic Preservation Design Guidelines requirements. If the Board determines that the replacement windows comply with the City's Historic Preservation requirements, staff has provided conditions below:

Conditions of Approval

- 1) The existing window trim, sills, and mullions shall remain. If any of these elements are too deteriorated for continued use, they shall be replaced in-kind, subject to staff review at permitting.
- 2) The windows shall be recessed within the wall, and shall not be installed flush with the exterior wall.
- 3) All divided-light patterns shall be created utilizing exterior raised applied muntins. Exterior flat muntins or “grills between the glass” shall not be permitted.

POTENTIAL MOTION:

I MOVE TO **APPROVE** HRPB Project Number 22-00100021 with staff recommended conditions for a Certificate of Appropriateness (COA) for window replacements for the property located at **403 4th Avenue South**, based upon the competent substantial evidence in the staff report and pursuant to the City of Lake Worth Beach Land Development Regulations and Historic Preservation requirements.

I MOVE TO **DENY** HRPB Project Number 22-00100022 for a Certificate of Appropriateness (COA) for window replacements for the property located at **403 4th Avenue South**, because the applicant has not established by competent substantial evidence that the application complies with the City of Lake Worth Beach Land Development Regulation and Historic Preservation requirements.

ATTACHMENTS:

- Applicant’s supporting documentation
- Photos of windows